

TOWN OF YUCCA VALLEY, BUILDING & SAFETY DIVISION

SEPTIC TANK ABANDONMENT PROCEDURES

The State of California Building Codes, as adopted by the Town of Yucca Valley, establish requirements and standards that guide the abandonment of existing septic systems. These State laws apply when an existing septic system is being abandoned in order to connect to the Hi-Desert Water District wastewater collection system.

This handout has been prepared to assist owners of single family homes and licensed contractors in understanding the abandonment process and the general regulations and standards that apply. This handout provides general guidance but does not serve as a design manual or illustrate complete California Building Code compliance. The property owner or home owner is required to abandon septic tanks in accordance with California Building Codes, and to connect to the Hi-Desert Water District wastewater collection system, in compliance with Hi-Desert Water District requirements.

1. Complete the attached application. Please complete all details including contractor information if a licensed contractor is performing the work.
2. Complete the site plan, illustrating the location of the existing septic system in relationship to the structure(s) on the property, including dimensions, the location of the leach field or seepage pit, and the proposed location for the new waste discharge line to be connected to the Hi-Desert Water District wastewater collection system. The application must be complete, including property address, assessor's parcel number, and licensed contractor information if a licensed contractor is performing the work.
3. If the existing tank is NOT completely removed, the site plan shall indicate the location of the abandoned septic tank as a "No build area".
4. Submit the application and site plan to the Town's Building & Safety Division located at 58928 Business Center Drive, Yucca Valley, CA 92284, along with the necessary Building Permit Fees.
5. Permit fees are based upon the estimated value of the construction work being performed. The Town has ESTIMATED that the TYPICAL single family residential septic tank abandonment permit is approximately \$170.00 TO \$190.00. These fees cover actual Town costs associated with inspections performed by Building & Safety staff.
6. The abandonment process will generally include two inspections. The first inspection will confirm:
 - a) The new wastewater discharge line has been installed with correct clean outs, backflow devices, and is ready for a static pressure test inspection of 8 pounds; The wastewater discharge line must still be exposed and not covered for this inspection.

After the Town inspector has signed your inspection card, you may drain the sewer lateral, connect it to the sewer with Hi-Desert Water District approval, disconnect the septic tank and connect the sewer lateral to the house.

- b) If the new waste discharge line must be routed through the existing septic tank, remove and dispose of septic tank walls in conflict 1 foot below the pipe.

THE TOWN OF YUCCA VALLEY CANNOT INSPECT THE CONNECTION TO THE HI-DESERT WATER DISTRICT COLLECTION SYSTEM. PLEASE CONTACT THE HI-DESERT WATER DISTRICT TO OBTAIN AUTHORIZATION TO CONNECT TO THEIR WASTEWATER COLLECTION SYSTEM.

7. The second inspection will confirm:

- a) The existing septic tank has been pumped by a licensed contractor. Proof of pumping by a licensed contractor must be provided to the Building Inspector. This can be accomplished by providing a copy of the septic tank pumping receipt to the Building Inspector. If a seepage pit is in place for the disposal field, the seepage pit must also be pumped, and a copy of the pumping receipt must be provided to the Building Inspector.
- b) The bottom of the tank is perforated with a 12" hole in each compartment, at a minimum;
- c) The top of the tank has been removed to the vertical walls of the septic tank;
- d) Where a seepage pit or pits are part of the disposal system, the seepage pit top shall be removed, and the pit backfilled and compacted;
- e) The septic tank has been removed, or alternatively, the septic tank has been backfilled. To properly backfill the septic tank, remove the top, fill the septic tank, cesspool, or brick-lined seepage pit with clean earth, sand, gravel, concrete, or other material approved by the Building and Safety Division. Do not fill above the top of the vertical portions of the sidewalls or above the level of any outlet pipe. When filling with earth or sand, jet and compact the material to prevent future settling. Fill to surface grade level only after approval from the Building and Safety Inspector is received;
- f) The new wastewater discharge line has been backfilled/covered and the new wastewater (discharge) line connected to the Hi-Desert Water District lateral connection.

- g) Following the second inspection, properly grade to top of the ground/fill to grade.

Septic tanks must either be removed, or properly backfilled.

Typical Construction Details:

The following information provides typical construction details for single family residential septic tank abandonment. Diagrams are attached to this handout to assist with preparation of plans that must be submitted to the Building and Safety Division.

1. A clean out shall be installed in the new wastewater discharge line within 5' of the structure.
2. A clean out shall also be installed within 2' of the connection point to the Hi-Desert Water District wastewater collection system lateral line.
3. All wastewater discharge lines installed with the septic tank abandonment process, as well as new lines, shall be ABS, PVC or other approved material, 4" minimum.
4. Cleanouts shall be installed every 100' on straight pipe runs, or changes in direction of more than 135 degrees
5. Install waste discharge line in the most direct and logical alignment to the sewer main/lateral connection.

All work must comply with the currently adopted California Plumbing Code.

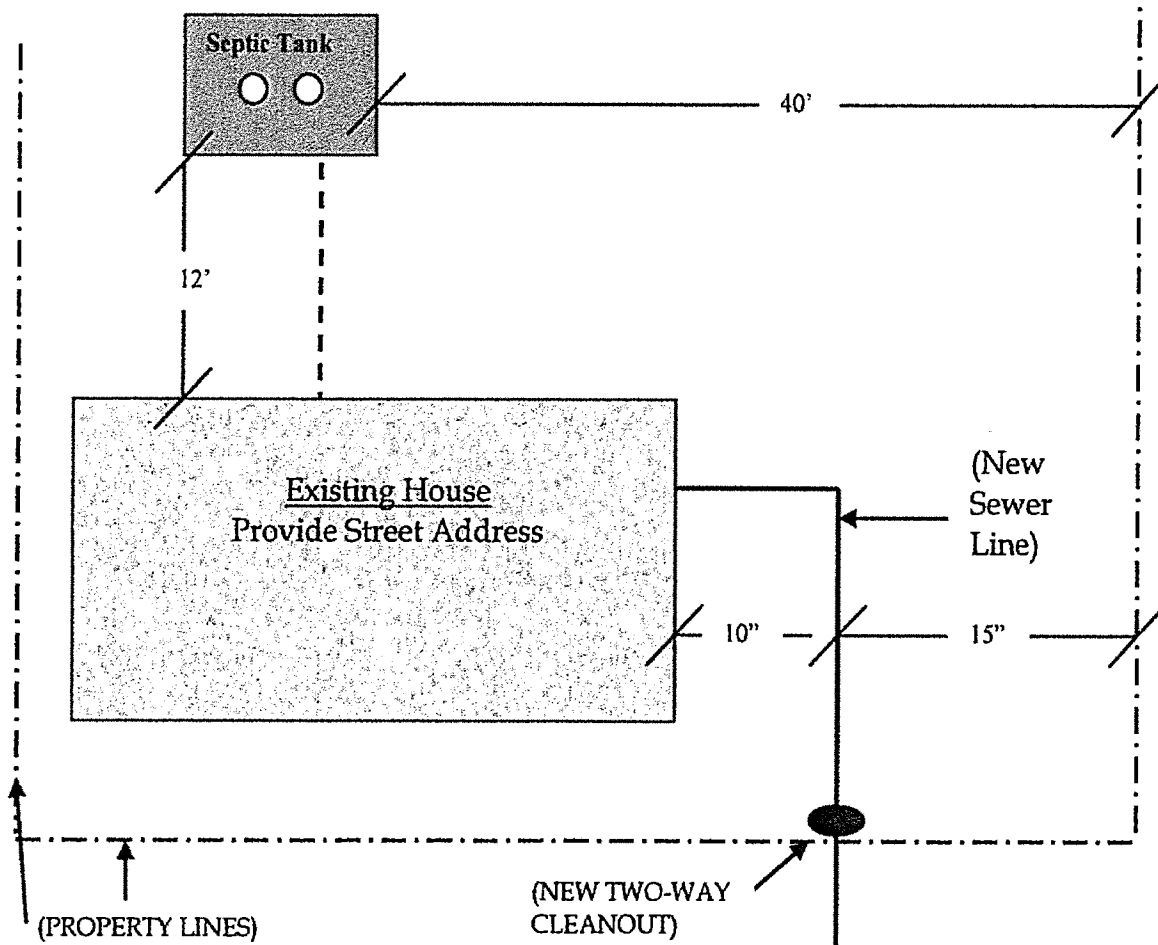
Sewer Backflow Preventers

1. A sewer backflow preventer shall be installed in all cases where the finished floor of a residence or business is below the top of the uphill sewer manhole of the sewer main being connected to.
2. The contractor or homeowner installing the lateral from the connection point of the sewer main to the residence or business, shall provide certification (with the permit application) to the Town that, the finished floor is above the elevation of the upstream sewer manhole, or that backflow preventer shall be installed.
3. All backflow preventers shall be UPC (CPC)/IAPMO approved. A certification and/or sales receipt shall be provided to the Town's Inspector showing the type of backflow preventer installed and proof it meets UPC (CPC)/IAPMO requirements.

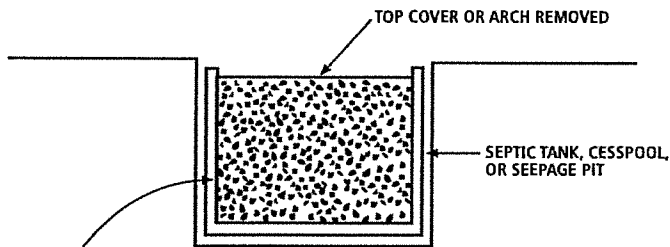
FUTURE IMPROVEMENT REQUIREMENTS

NO FUTURE CONSTRUCTION WILL BE ALLOWED OVER THE TOP OF EXISTING OR ABANDONED SEPTIC TANKS, LEACH LINES AND/OR PITS, THAT HAVE NOT BEEN REMOVED. IN THE EVENT A CURRENT OR FUTURE HOMEOWNER DESIRES TO CONSTRUCT IMPROVEMENTS OVER THE AFFECTED AREA, PROOF OF REMOVAL OF SEPTIC TANK(S), LEACH LINES OR PITS, AS WELL AS SOILS REPORT AND COMPACTION TEST, SHALL BE PROVIDED TO THE BUILDING DIVISION PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT(S).

Typical Site Plan:



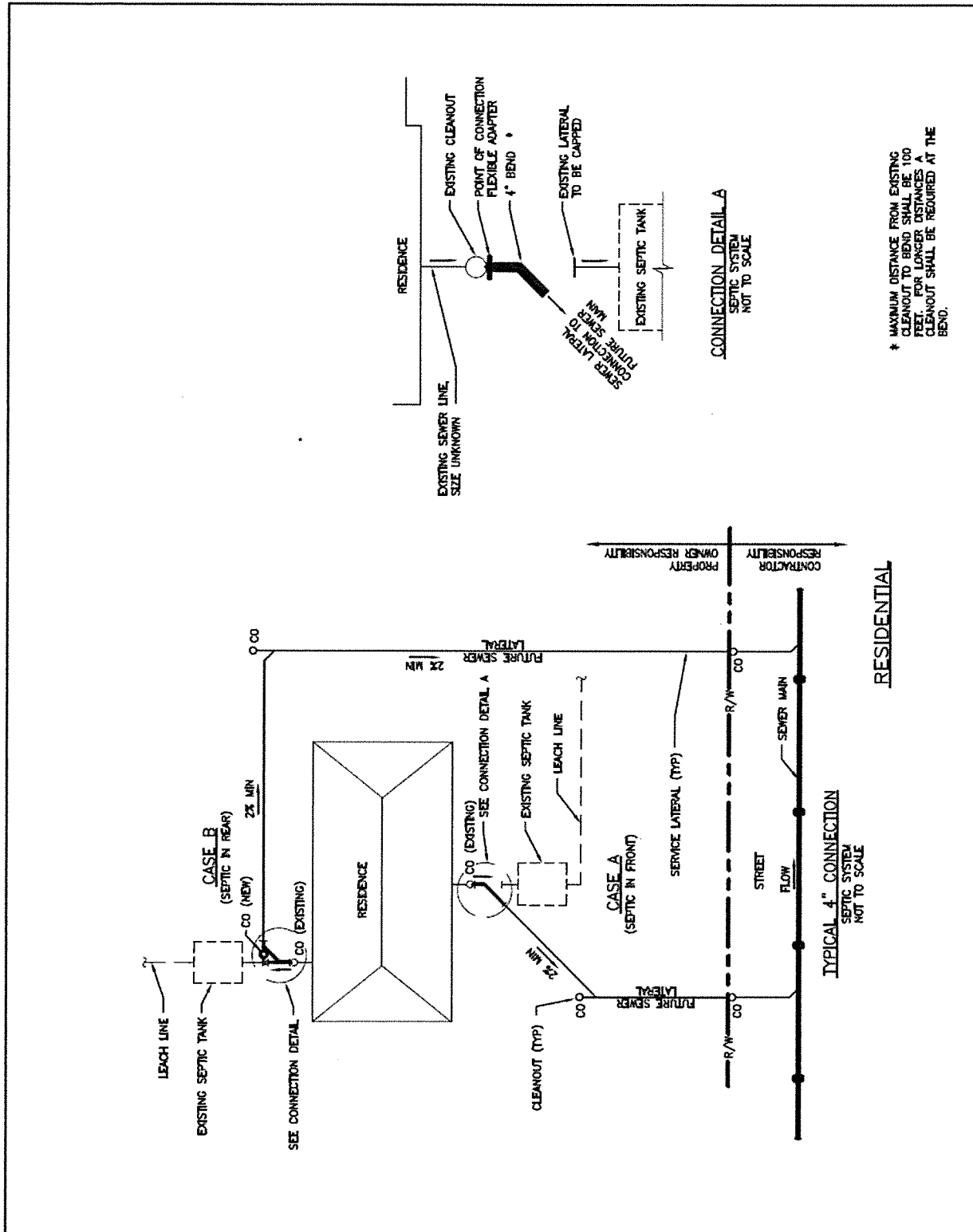
Typical Septic Tank with Top Removed



FILL WITH EARTH, SAND, GRAVEL, CONCRETE, OR OTHER APPROVED MATERIAL. THE FILLING MUST NOT EXTEND ABOVE THE TOP OF THE VERTICAL PORTIONS OF THE SIDE WALLS OR ABOVE THE LEVEL OF ANY OUTLET PIPE.

Typical Residential Septic Tank Abandonment and Connection to Sewer Lateral Line:

TYPICAL RESIDENTIAL SEPTIC TANK ABANDONMENT AND CONNECTION TO SEWER LATERAL LINE





Building Permit Application Single Family Residential & Multi-Family Residential up to 3 Units

BUILDING ADDRESS:

Address _____

APN _____ Lot _____ Tract _____

APPLICANT INFORMATION:

Name _____

Address _____

City _____ Zip _____ Ph _____

ENG/ARCHITECT: License No. _____

Name _____

Address _____

City: _____ Zip _____ Ph _____

PROPERTY OWNER INFORMATION:

Name _____

Address _____

City _____ Zip _____ Ph _____

OWNER-BUILDER DECLARATION

- I hereby affirm that I am exempt from the Contractor's License Law for the following reason: Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed, pursuant to the provisions of the Contractor's License Law (Chapter 9, commencing with Section 7000 of Division 3 of the Business and Professions Code) or that he is exempt therefrom, and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code. The Contractor's Licensed Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and contracts for such projects with licensed contractor(s), pursuant to the Contractors License Law.)
- I am exempt under Sec. _____ B&PC for this reason:

Date: _____ Initial _____

CONTRACTOR INFORMATION:

Name _____

Address _____

City _____ Zip _____ Ph _____

Licensed Contractor's Declaration

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000 of Division 3 of the Business and Professions Code) and my license is in full force and effect.

License Class _____ License No. _____

Expiration Date _____

Construction Lending Agency

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec.1097, Civ..C)

Lender's Name _____

Lender's Address _____

Development Impact Fee

I hereby agree to pay The Public Facilities Development Impact Fee as required by The Town of Yucca Valley (Ord. No. 173 and Res. No. 11-46) prior to occupancy and final inspection.

Date _____ Initial _____

PROJECT DESCRIPTION:

- New Alter Addition Repair Demo

Project Description		Sq. Feet
1. Living Area		
2. Garage		
3. Covered Patios / Porches		
No. of Units:	Heating Type:	
No. of Stories:	Fireplace Type:	
No. of Bedrooms:	Ext. Wall Const.:	
No. of Baths:	Roof Type:	

GRADING: Permit required for < 50 cubic yards.

Cut: _____ Fill: _____ Total _____ cubic yards

OTHER PROJECT DESCRIPTION:

1. _____
2. _____

VALUE: \$ _____

Complete submittal packages required, pursuant to 2016 CRC, Sec. R106.

Applicant's Signature _____

Date _____

**Sample Estimated Building Permit Fee
Single Family Residential Home
Typical ½ Acre (18,000 sq. ft.) lot
One standard permitted septic tank, no unusual property characteristics.**

The following information outlines the estimated Building Permit Fees associated with the abandonment of a septic tank and the construction necessary to connect to the HDWD wastewater collection system. This estimate is based upon the typical ½ acre single family residential to (18,000 sq. ft.) with one septic system serving the single family residential dwelling, and there are no unusual property characteristics present on the site.

Please see HDWD for Sewer Connection Inspection and Fees.



SAMPLE PROJECT FEE ESTIMATE
Town of Yucca Valley – Building & Safety Division
58928 Business Center Drive
Yucca Valley, CA 92284
(760)365-0099, extension 302

TYPICAL RESIDENTIAL PERMIT COST

SEPTIC TANK ABANDONMENT WITH SEWER LATERAL HOOK-UP

Description	Qty.	Amount
Fees		
Building Issuance Fee		\$ 30.45
Plumbing Fixture or Trap		\$ 12.60
Private Sewer Line		\$ 72.45
Septic Tank, Seepage Pit or Leach Line		\$ 43.05
Drain or Vent Piping		<u>\$ 19.95</u>
		<u>\$178.50</u>

THIS IS NOT A RECEIPT! IT IS ONLY AN ESTIMATE
FOR A PROPOSED PROJECT.